

# Moisture Free Inspection Report

**For the Property Located At:**

123 Our Street  
ThisTown, USA 12345

**Report Prepared For:**

Mr. & Mrs. Client



# Home & Stucco Inspections of Georgia

## Project Information

OWNER INFORMATION		BUYER INFORMATION	
Owners	Mr. & Mrs. Seller	Buyers	Mr. & Mrs. Client
Property Address	123 Our Street	Buyers Address	123 Sample Ave.
City, State, ZIP	Any Town, USA	City, State, ZIP	Any Town, USA
Phone		Phone	
FAX		FAX	
Owners Realtor		Buyers Realtor	
Realty Company		Realty Company	
Phone		Phone	
FAX		FAX	
PROPERTY INFORMATION		INSPECTION INFORMATION	
Type of Exterior Cladding	EIFS	Date of Inspection	01-01-2001
System Manufacturer	Dryvit	Inspector	David J Smith
Mesh Color	Blue	Present at Inspection	No one
Underlying Substrate	Oriented Strand Board	Temperature / Humidity	70 degrees 50% rel. humidity
Age of Property	2000	Weather	Sunny
Square Footage	4500	Last Rain	None for several weeks

Window Data		
Type of Windows	Quantity	Comments
Double or single hung, wood window	50	
<b>Total Number of Window Units</b>	<b>50</b>	

## Summary Checklist

<b>Caulking</b>	<b>Good</b>	<b>Not Adequate</b>	<b>N/A</b>	<b>Comments</b>
<b>Caulking Around Window Frame</b>	<b>X</b>			
<b>Caulking At Window Joints / Miters</b>		<b>X</b>		Need to caulk behind sash tracks of all single or double hung windows.
<b>Caulking Around Door Frame</b>	<b>X</b>			
<b>Caulking At Door Joints / Miters</b>		<b>X</b>		Caulk all door joints or miter joints, including thresholds.
<b>Caulking Around Other Breaches</b>		<b>X</b>		All utility breaches, including hose bibs, light fixtures and vents, need to be caulked or re-caulked.
<b>Flat Accents Caulked or Angled</b>	<b>X</b>			
<b>Soffit, Frieze &amp; Facia Boards Caulked</b>		<b>X</b>		Exposed gaps where stucco meets another material need to be caulked.
<b>Flashings / Diverters</b>	<b>Good</b>	<b>Not Adequate</b>	<b>N/A</b>	<b>Comments</b>
<b>Kickout Flashings / Roof / Wall</b>	<b>X</b>			
<b>Deck Flashings</b>		<b>X</b>		Deck attachment appears to lack appropriate or adequate flashing.
<b>Other Attachment Flashings</b>	<b>X</b>			
<b>Porches / Stoop Flashing</b>	<b>X</b>			
<b>Chimney Cap</b>	<b>X</b>			
<b>Chimney Cricket</b>	<b>X</b>			
<b>Window Head Flashing</b>	<b>X</b>			
<b>Door Head Flashing</b>	<b>X</b>			
<b>Column Flashing</b>	<b>X</b>			
<b>Terminations</b>	<b>Yes</b>	<b>Not Adequate</b>	<b>N/A</b>	<b>Comments</b>
<b>EIFS Is Terminated Above Grade</b>	<b>X</b>			
<b>EIFS Is Sealed At Bottom</b>	<b>X</b>			
<b>EIFS Is Terminated At Porches</b>				

## Summary Checklist Continued ....

Miscellaneous	Yes	No	N/A	Comments
Evidence Of Sprinkler Overspray		X		
Gutters Clean & Functioning	X			
Down Spout Fasteners Sealed	X			
Cracks Or Impact Damage	X			Exposed cracks or impact damage need to be sealed or repaired.
Delaminating At Foam / Substrate	X			Delamination is occurring at an area or areas as noted in the report.
Exterior Evidence Of Pest Infestation		X		
Adequate Slope Of Grade Away	X			
Crawlspace Inspection Made			X	
Property Located Near Body of Water If Yes, Describe		X		

## Moisture Inspection Summary

### EIFS Moisture Inspection Summary

This building is a one story shingle roofed residence clad with E.I.F.S (Exterior Insulation Finish System).

**Caulk or re-caulk any place below the soffit line where stucco meets another material. This may include utility penetrations, light fixtures, vents, downspout fasteners or other types of breaches to the stucco system. Chapter 2 and Chapter 4, Sections 2 & 8**

**Caulk or re-caulk all doors and windows. For single or double hung windows, seal the tracks on all vertical joints from the head of the window to the sill and along the bottom joint of the track to the sill and at least 6” up the vertical joints behind the track. For casement windows, caulk or re-caulk all exposed joints, including the miter joints of the window. Chapter 2 and Chapter 4, Sections 2 & 4**

**All flat accents and quoins need to be caulked. Chapter 2 and Chapter 4, Sections 2 & 8**

Great care should be exercised in choosing the appropriate caulk. The manufacturer of your system has recommended specific brands and types of sealant for various applications. Each caulking manufacturer has recommendations about how their particular caulk should be applied. It is important that these guidelines be followed in order to maximize the effectiveness of the caulk and enhance its ability to protect your home. Refer to the Chapter 4, Section 2 for more information about sealants.

You have areas around (*inspector should fill in appropriate response—for example: windows, doors, kickouts or missing kickouts, the deck, the chimney*) that are showing signs of elevated moisture. These areas should be modified according to the MoistureFree Repair Standards and Options (Chapter 4) to prevent moisture intrusion.

Kickout flashing should be installed at the location(s) indicated in this report. Chapter 2 and Chapter 4, Section 3

Please note that the moisture readings included in this report are the raw data recorded by the Delmhorst probe meter. Moisture levels are affected by the ambient weather conditions and other factors, and this can result in variations between the readings taken on one day and readings taken in the same area on another day. The readings provided in this report are accurate indicators of the presence of retained moisture at the surface of the substrate or framing wood in the area tested at that given moment in time. These readings are not represented to be the absolute moisture content of the full thickness of the substrate or framing wood.

This report only reports on the condition of the structure at the specific locations indicated. Locations were determined by the inspector according to probable areas of possible moisture intrusion and in accordance with accepted industry standards. No judgment is intended or given for any areas not reported on.

## Moisture Inspection Summary

### Conclusion

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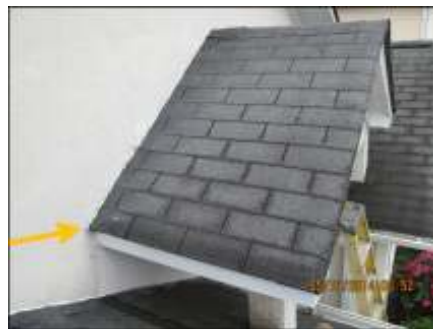
Good sealants around all window perimeters...good.



View behind UNSEALED window tracks. Moisture below.



Mirror shows stucco foam is sealed at bottom



Missing kickout flashing has resulted in moisture intrusion



Attic view of moisture damage from improper kick-out flashing

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations	Chapter Reference
C7,D7	Windows	21% 11%	Firm	Elevated moisture reading at window	
E7	Windows	12% 11%	Firm	All window construction (tracks, joints) needs to be caulked.	
F5	Kickout	40%	Soft	Kickout is missing with elevated moisture below and possible damaged substrate behind stucco. Recommend further evaluation and repairs by stucco contractor.	